



Ocean's Edge, St. Kitts
Revised Planning Submission

July 2009

CABLE BAY HOTEL DEVELOPMENT COMPANY LTD.



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Figure 1.01 - Illustration of 2006 Masterplan vision for Ocean's Edge

1.0 Introduction

Ocean's Edge is an integrated resort development situated at the south eastern end of Frigate Bay. The resort is being developed by Cable Bay Hotel Development Company Limited in accordance with the approved masterplan of 2006. The project is approximately 30% through its development and construction period with Phase 2 scheduled for completion in September 2009.

This planning submission outlines amendments which are proposed to be adopted to the original masterplan. These changes are proposed in response to market feedback, regarding elements of the current masterplan and additional design assessment by Cable Bay's design representatives. These changes will enhance the deliverability and market appeal of the resort; its architectural composition and range of products, and provide more appealing and manageable resort facilities for both home owners and the resort operator.

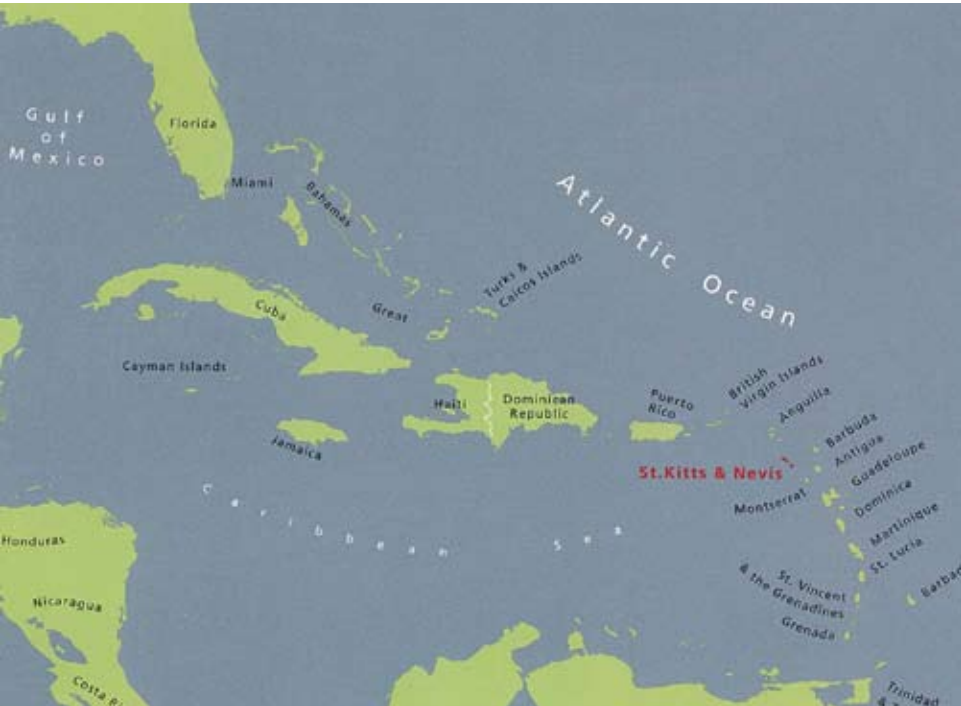


Figure 2.01 - St Kitts location plan.



Figure 2.01 - The site's location within St Kitts

2.0 The Site

The site lies at the eastern end of Cable Beach in Frigate Bay on St Kitts. It has a 1550 foot frontage to the Atlantic Ocean and an area of 39.22 acres.

Approximately one third of the site is relatively flat and fronts onto Cable Beach. The balance of the site is very steep with slopes exceeding 1 in 2.2.

Main access to and from the site is via the St Christopher roundabout, with access to the higher areas of the site (Villa's) from the Kennedy Simmonds highway.

The site is adjacent to the existing 3-4 storey St Christophers Club condominium development to the north east, and Friar's Bay Estate to the south. It has ready access to the St Kitts Marriott Hotel and the Royal St Kitts golf club.

To date, construction has commenced or been substantially completed on 46 hillside and beachfront condominiums and 4 villa residences, comprising the first phases Ocean's Edge.



Figure 2.03 - Photograph of Current Site Condition



Figure 2.04 - Photograph of Current Site Condition



Figure 3.01 - Existing 2006 Masterplan - Group Unit Development Site



Figure 3.02 - Existing 2006 Masterplan - Individual Residential Development Site

3.0 Existing Masterplan

The current masterplan divides the overall site into a 23.65 acre beachfront condominium/group unit development site (figure 3.01) and a 15.57 acre hillside site subdivided for individual residences/villas (figure 3.02).

The current approved plan incorporates 170 condominiums comprising; beachfront apartments, hillside apartments, garden cottages, and resort facilities including reception, restaurant, beach club, fitness centre and administration/service facilities. There are also 23 villa lots/individual residences located on the hill overlooking Frigate Bay.

The current approved development scheme is summarised in the following schedule:

Dwelling Type	Beds	Number	GFA Total
Hillside Suites 1-33 (2-beds)	132	66	96,888
Beachfront Blocks 1,2,3,6,7,8 (1-beds)	48	48	40,128
Beachfront Blocks 4,5 (2-beds)	16	8	13,376
Garden Cottages 1-24 (2-beds)	96	48	52,848
Villa Lots	NA	23	315,599 (max F.A.R)
Resort Facilities			
Reception	N/A	N/A	3,778
Clubhouse	N/A	N/A	17,000
Restaurant	N/A	N/A	5,000
Fitness Centre	N/A	N/A	12,960
Administration/BOH/Service	N/A	N/A	10,365
Total	292	193	567,942



Figure 3.01 - Beachfront Apartments



Figure 3.02 - Garden Cottages



Figure 3.03 - Upper Hillside Villa Sites



Figure 3.04 - Resort Pools

3.1 Existing Masterplan - Overview

Following several years of marketing and construction of the development, and in response to subsequent feedback on the masterplan, we believe there are several elements of the existing masterplan which could be enhanced to improve the resort appeal and marketability/viability of the resort. These are:

A Beachfront Apartments (Figure 3.01)
The rigid organisational layout of these apartment blocks along the beachfront presents a ‘wall’ of buildings to the garden cottages behind and tends to alienate them from the beach, resulting in perceived second class accommodation on the flat areas of the site. There is the opportunity to re configure the layout of these beachfront apartment buildings and thereby enhance the resort’s connectivity with Cable Beach

B. Garden Cottages (Figure 3.02)
As mentioned in the previous paragraph, the current layout of the beachfront apartments has a detrimental impact on the amenity of these garden cottages. Although these cottages have been on the market for a considerable time, there has been little interest from prospective purchasers, due to the perceived secondary location on the site. It is therefore considered that major re-design of this product, and re configuration of the beachfront apartment blocks is necessary to provide improved amenity to the dwellings in the central part of the site.

C. Upper Hillside Villa Lots (Figure 3.03)
The steepness of the villa lot sites presents challenges for both access and construction. The access road which has been cut into the topography of the hillside provides reasonable access to the lower sites, however access to the upper sites is extremely difficult due to the height of the cut. Ideally, a second road is recommended to provide direct access to the upper hillside villa lots. Creation of a second villa road would result in the upper lots being split in half and thereby providing additional lots. Refer section 4.8

D. Resort Pools (Figure 3.04)
The current scheme has seven smaller pools distributed throughout the site with most of these being the size of a standard domestic pool. It is considered that a larger, central ‘resort style’ pool configuration would be preferable and would provide a greatly improved amenity for residents of the resort.



Figure 3.05 -Plan of Reception/Administration Buildings



Figure 3.06 - Plan of Restaurant Precinct

Figure 2.01 - Illustration of 2006 Masterplan

E Reception Building (Noted RB1 on figure 3.05)
The current masterplan has a semicircular plan form for the reception building which mirrors the form of the administration building and provides an average arrival experience for residents and guests. There is the opportunity for the reception building to be a stronger focal point and arrival experience for the resort.

F. Restaurant (Noted BR1 on figure 3.06)
The restaurant's location at the south eastern end of the beach/site is remote from the main facilities of the resort. There is concern with the viability of the restaurant, in this location given there is no car access to this area. A more central location is preferred within sight of the reception building, and incorporated within the proposed central resort pool concept.

G Fitness Centre
The size of the fitness centre is too large and could be significantly reduced.

H Resort Administration Buildings
The current masterplan has the resort administration/back of house facilities spread across three different buildings. As many of the services for the resort will be provided off site, the size of these facilities can be reduced and rationalised into fewer buildings.

I Vehicular Access
Although it is intended to provide buggy cart access within the site when the resort is fully operational, the current cart path widths do not allow flexibility for car access in the future. Its is preferable to have a path/ road design which will permit car access and parking for residents to designated areas through the site whilst maintaining the current buggy path access to the hillside condominiums..



Figure 4.01 - Revised masterplan illustrating extent of changes shown in colour. Areas shown in grey denote unchanged areas as per 2006 masterplan.

4.0 Revised Masterplan

The primary objective of the revised masterplan is to provide greater 'resort style' amenity and improved connectivity to Cable Beach from the centre of the site.

The key deviations from the current masterplan are the inclusion of several large ornamental and recreational pools around which a cottage style of accommodation is provided, together with the re configuration of the beachfront apartment buildings to allow greater permeability through the centre of the site to the beach. The other key changes include a slight increase in the number of dwellings proposed on the site, an increase in height of several of the beachfront buildings from two to three storey's and the addition of another private access road to the hillside villa sites at the top of the site.

A detailed description of these elements is provided in the following sections.-

4.0 Revised Masterplan



Figure 4.02 - Proposed 2009 Masterplan



Figure 4.01.1 - Plan of Beachfront Condominium Buildings



Figure 4.01.2 - Illustration of Beachfront Condominiums

4.01 Beachfront Apartments

The remaining beachfront apartments have been re-sited and re-orientated to provide a larger aperture to the beach from the central portion of the site. This also creates enough space for a larger ‘beach style’ resort pool with an iconic restaurant central to the beachfront.

The organic form/citing of the buildings along the beachfront results in a greater average setback to that of the current approved masterplan.

These beachfront buildings accommodate one and two bedroom condominiums similar to those which are currently approved or under construction. Several of the buildings accommodate three bedroom condominiums within an additional storey.

Buildings BF0 though to BF4 are three storeys in height with buildings BF5 through to BF8 being two storeys in height. These buildings have a maximum height of 37 feet for the three storey buildings and 28 feet for the two storey buildings with the height of the three story buildings being significantly lower than the adjacent three/four storey buildings of the St Christophers Club development.

The apartment schedule below summarises the range of accommodation provided in these beachfront buildings:

Apartment Schedule	No	Average GIA	Average GEA
1 Bedroom Central	28	602sqft	194sqft
1 Bedroom End	33	701sqft	176sqft
2 Bedroom	8	1,132sqft	321sqft
3 Bedroom	5	1936sqft	565sqft
Total	74	58,725sqft	16,633sqft



Figure 4.02.1 - Plan of Poolside, Beachside and Hillside Cottages



Figure 4.02.2 - View of Single Storey Poolside Cottages

4.02 Poolside Cottages (PC01-PC38)

The two storey garden cottages in the original masterplan have been abandoned in preference to ‘poolside’ cottages as illustrated in figure 4.02.1. The large pool in the centre of the site provides a focus/outlook for all poolside cottages located around the pool edge.

The cottages have been designed in a ‘duplex’ format and have been orientated to provide glimpses towards the ocean from the external living spaces. Each cottage has a private garden and plunge pool.

There are 38 cottages, comprising; 34 two bedroom single storey cottages, and four three bedroom two storey cottages located adjacent to the reception building.

4.03 Beachside Cottages (BC45-BC48)

In addition to the poolside cottages there are four two storey three bedroom cottages orientated towards the beach, adjacent to the beachfront apartments in the northern corner of the site.

4.04 Hillside Cottages (HC39-HC44)

There are also an additional six three bedroom cottages nestled into the hillside behind the poolside cottages adjacent to the highway. These are afforded views over the poolside cottages towards the ocean. The following schedule summarises the new cottage accommodation:

Apartment Schedule	No	Average GIA	Average GFA
2 Bedroom Poolside	34	1,070sqft	755sqft
3 Bedroom Poolside	4	1,499sqft	944sqft
3 Bedroom Beachside	4	1,499sqft	944sqft
3 Bedroom Hillside	6	1,604sqft	750sqft
Total	48	57,996sqft	37,722sqft



Figure 4.03.1 - View of Pool from Poolside Cottages



Figure 4.03.2 - Plan of Resort Pools

4.03 Central Resort Pools

The main feature of the new masterplan is the incorporation of a large central resort pool to provide a superior resort amenity in the centre of the site. The pools are orientated to provide a visual connection between the reception building and the restaurant and Atlantic Ocean.

The central resort area incorporates a combination of natural and formal ornamental pools (not intended for swimming) and four swimming pools including a large beach pool, a children’s pool, a lap pool and a smaller spa pool.

The large natural formed central ornamental pool is intended to have a natural edge of beach and landscaping. The pool is shallow and shall be treated to a suitable level, but not to the extent of a swimming pool.

There is another formal entry pool (figures 4.04.2/4.04.3) next to the reception building which extends out into the central pool. The resort lap and spa pools are located in line with the formal ornamental pool in the centre of the site. These are surrounded by timber sun decks.

The beach and children’s pools are positioned adjacent to the ocean and provide the surrounds to the proposed resort restaurant and bar.

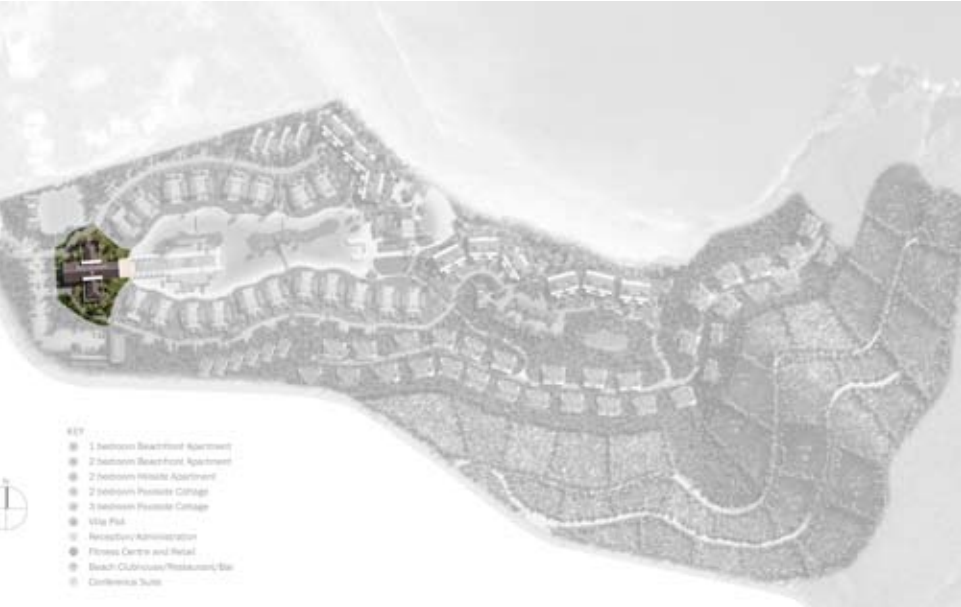


Figure 4.04.1 - Reception Key Plan



Figure 4.04.2 - Reception Plan

4.04 Reception/Arrival Hall

The separate administration and reception facilities proposed in the original masterplan have been combined and housed in a central reception facility. This is the main interface building in the development. It houses the porte cochere, arrival hall, reception, hotel administration offices and shop/cafe.

The building sits approximately 2 metres above street level to allow flow down towards the ocean. The central portion is double height and open at both ends to allow for the porte cochere and views through to the feature pools in the centre of the site. The side wings which house the administration offices and shop/cafe are surrounded by veranda's to provide weather protection throughout the year.



Figure 4.04.3 - View of Reception from Reflection Pool



Figure 4.04.3 - View of Reflection Pool from Reception



Figure 4.05.1 - Restaurant / Conference Suite Key Plan



Figure 4.05.2 - Restaurant Plan

4.05 Beach Clubhouse / Restaurant

The restaurant has been relocated from the eastern end of Cable Beach to a more central beachfront position facing onto the beach pool and within site of the reception building.

The building comprises numerous pavilions and is single storey in height. It is predominantly open walled to allow expansion onto the surrounding terraces, with views through the building to the surrounding landscape.

The kitchen and amenities are located in the central portion of the building and are generally concealed by the surrounding 'pavilion' style dining areas.

The restaurant can seat approximately 120 people. There is a separate pavilion set into the beach pool which houses the outdoor bar facility.

4.06 Conference Suite

A small conference suite has been introduced into the masterplan to cater for small group conferences and meetings. The suite is located near the restaurant behind the beachfront apartments in the low lying area in the centre of the site, adjacent to the stormwater retention pond.

The building is single storey in height and designed in the same 'pavilion' architectural style as the restaurant and reception buildings. It can accommodate conferences or group meetings up to 150 people.



Figure 4.05.3 - View of Restaurant from Beach Pool



Figure 4.07.1 - Hillside Suites Key Plan



Figure 4.08.1 - Hillside Villa Site Plan

Lot No	Lot Area	Maximum GFA
Lot 1	23,503sqft	11,751sqft
Lot 2	15,519sqft	7,795sqft
Lot 3	14,261sqft	7,130sqft
Lot 4	18,010sqft	9,005sqft
Lot 5	15,716sqft	7,858sqft
Lot 6	20,316sqft	10,158sqft
Lot 7	15,716sqft	7,858sqft
Lot 8	15,603sqft	7,801sqft
Lot 9	17,406sqft	8,703sqft
Lot 10	17,973sqft	8,986sqft
Lot 11	40,348sqft	20,174sqft
Lot 12	71,003sqft	35,501sqft
Lot 13	50,965sqft	25,482sqft
Lot 14	22,144sqft	11,072sqft
Lot 14a	4,024sqft	2,012sqft
Lot 15	26,168sqft	13,084sqft
Lot 16	10,542sqft	5,271sqft
Lot 17	22,748sqft	11,374sqft
Lot 18	16,406sqft	8,203sqft
Lot 19	13,691sqft	6,845sqft
Lot 20	9,938sqft	4,969sqft
Lot 21	9,017sqft	4,508sqft
Lot 22	9,871sqft	4,935sqft
Lot 23	7,979sqft	3,989sqft
Lot 24	8,823sqft	4,411sqft
Lot 25	9,273sqft	4,636sqft
Lot 26	10,910sqft	5,455sqft
Lot 27	7,786sqft	3,393sqft
Lot 28	10,630sqft	5,315sqft
Lot 29	19,266sqft	9,633sqft
Lot 30	18,150sqft	9,075sqft
Lot 31	16,927sqft	8,463sqft
Lot 32	14,726sqft	7,363sqft
Total (33)	602,081sqft	301,040sqft

Figure 4.08.2 - Villa Lot Schedule

4.07 Hillside Suites

Approximately half of the Hillside suite buildings are complete or nearing completion, so there are no proposed changes to these buildings from the original masterplan

Accordingly there remain 66 Hillside suites proposed in the revised masterplan.

4.08 Hillside Villa Lots

The current/original masterplan has 23 hillside villa lots. A number of these villas are due for completion later this year. The steepness of the site has meant that access and construction is extremely difficult, particularly for those sites on the upper side of the access road. In order to provide improved access for both residents and construction vehicles the new masterplan proposes a second access road, inside the villa site entry.

In response to these access issues and the new road the upper section of the site has been re-subdivided to reflect a more practical approach to developing villas on a steeply sloping site. The new plan has a total of 33 hillside villa lots. The lots range in size from 4,024 square feet to in excess of 22,000 square feet. Although there are ten more dwellings proposed for the site, the maximum permissible gross floor area will reduce due to the area required for the road. The maximum gross floor area will not exceed 50% of the area of any given lot.

The table in Figure 4.08.2 provides a summary of the approximate lot areas and maximum gross floor area per lot.

Both villa roads are private roads for villa secured access only; there is no connection from the villa roads to any other areas of the resort site. The current masterplan contains design provisions for secured and monitored access to the villa lots (refer figure 4.10.3). This secured access is proposed to be retained. Both villa roads will permit direct access for emergency vehicles at all times.

In preliminary meetings with the Planning Board, it has been generally agreed that a 14 foot minimum road carriageway width is required, as compared with the current approved road carriageway width of 12 feet. Final road design shall include for shoulders, selected widening where required, edge barriers and street lighting. Road layouts shall be submitted for building approval shortly



Figure 4.09.1 - Plan of Fitness Centre



Figure 4.10.1 - Plan of Entry Carpark/Service Area



Figure 4.10.2 - Key Plan of Internal Spine Access Road

4.09 Fitness Centre

The original masterplan had a large fitness facility in excess of 6,450. The revised masterplan incorporates a smaller facility (2,900 sqft) re-positioned adjacent to the entry roundabout and tennis courts.

The building is single storey in height and designed in a similar style to the reception building nearby.

4.10 Vehicular Access/Car Parking

Vehicular access in the revised masterplan has been amended to a single access/egress point from the main roundabout. The secondary service access road from Kennedy Simmonds Highway has been removed.

The original masterplan was predicated on the concept of buggy access within the resort beyond the reception area. The access roads in the revised masterplan have been re configured to allow for motor vehicles to access poolside and beachfront condominiums as well as parking nodes for hillside units, with buggy access there after. The design incorporates a ‘spine’ access road (shown in figure 4.10.2) which runs behind the poolside cottages and waterfront apartments. The use of this road is intended for residents of the resort only. All roads proposed within the revised masterplan shall be fully accessible for emergency vehicles.

Visitors to the resort will be required to park at the visitor parking area at the front of the site. Resident car parking for both buggies and cars has been distributed along the spine road to ensure residents can park close to their dwelling. The total number of on-site car spaces has increased from 72 spaces in the 2006 masterplan as scheduled below: The number of spaces allocated for the restaurant/conference use has been reduced as many of the guests of those facilities will be staying in the resort.

Use	Required	Provided
Resort Resident’s	63	70
Villa Lots	66	66min
Restaurant/Conference/Visitors	53	33
Staff	NA	15
Total	182	184

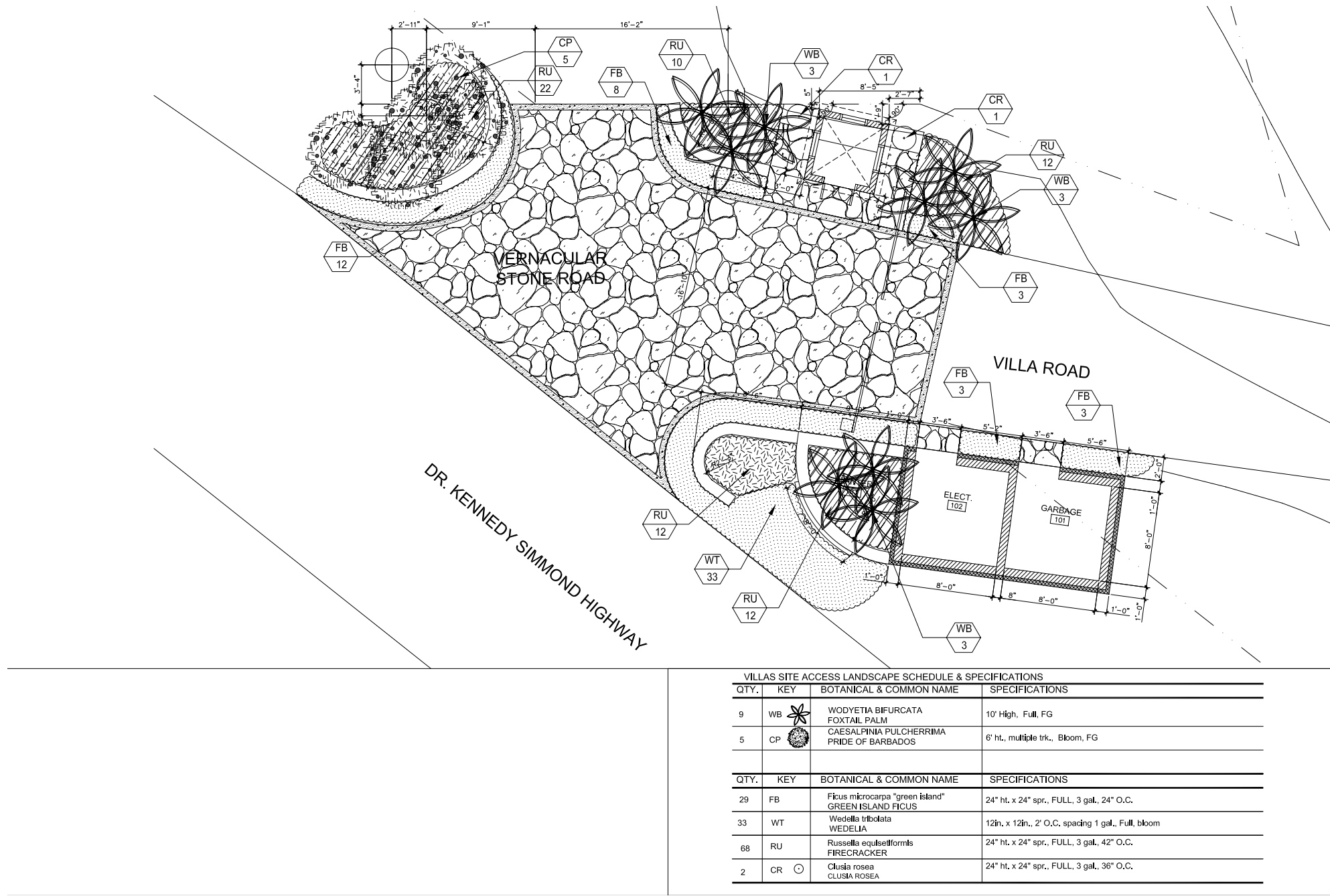


Figure 4.10.3 - Private Entry Road Detail

4.11 On-Site Drainage/Retention Pond

The revised masterplan incorporates a retention pond that collects stormwater from within the resort site for irrigation use. Collected water will be treated for irrigation purposes. The retention pond will be linked to an overland overflow path to the beach, in the event of heavy rainfall on site

4.12 Roundabout

As part of the masterplan revision process, it is proposed that the St Christophers roundabout in front of the resort's principal entry will be renovated and improved to provide a quality address, in keeping with the standard of quality for Ocean's Edge. This submission requests 'in principle' support to undertake this work.

Group Unit Development Site (23.65acres)	Maximum Permissible	Current Masterplan	Revised Masterplan
Number of Units	378	170 (-208)	188 (-190)
Number of Bedrooms	756	292 (-464)	334 (-422)
Residential Site Coverage	614,124sqft (60%)	136,467sqft (13.2%)	159,811sqft (15.6%)
Total Site Coverage (Including Resort Buildings)	614,124sqft (60%)	169,235sqft (16.4%)	188,203sqft (18.4%)
Residential Gross Floor Area Ratio (F.A.R)	614,124sqft (60%)	220,856sqft (.215)	244,444sqft (.239)
Total Gross Floor Area Ratio (F.A.R) (Including Resort Buildings)	1 (1,023,224sqft)	270,360sqft (.264)	265,481sqft (.259)
Individual Residential Development Site (15.57 acres)			
Number of dwellings	62	23	33
Site Coverage	25% (171,082sqft)	157,799sqft max	150,520sqft max
Gross Floor Area Ratio (F.A.R)	0.5 (342,163sqft)	315,599sqft max	301,040sqft max

Figure 5.01.1 - Planning Schedule

5.0 Planning & Development Summary

The site lies within Frigate Bay, and as such is controlled by the Frigate Bay Development Corporation’s Building Application Guidelines. The schedule in figure 5.01.1 summarises the permissible and currently approved development with what is being proposed in this revised masterplan application:

In summary;

- There is an increase in the number of units from 170 to 188 (+18).
- There is an increase in the number of bedrooms from 292 to 334 (+42).
- There is an 11% increase in the residential unit floor area/site cover, however a small reduction in the total gross floor area.
- There is an increase in the number of residential development sites from 23 to 33, however a decrease in the gross floor to be constructed on the sites.

Although there is a small increase in the number of dwellings proposed on the site, the extent of the development is still substantially lower than what is permissible under the building guidelines.

In relation to height, the masterplan proposes an increase to three storeys to some of the beachfront apartment buildings, which is permissible under the building guidelines. The two storey garden cottages in the original masterplan have been replaced by predominantly single storey poolside cottages.

6.01 Two Bedroom Poolside Cottage (PC01-PC23 & PC25-PC38)



Figure 6.01.1 - Floor Plan



Figure 6.01.2 - Poolside Elevation

6.02 Three Bedroom Cottage (PC21-PC24 & BC45-BC)

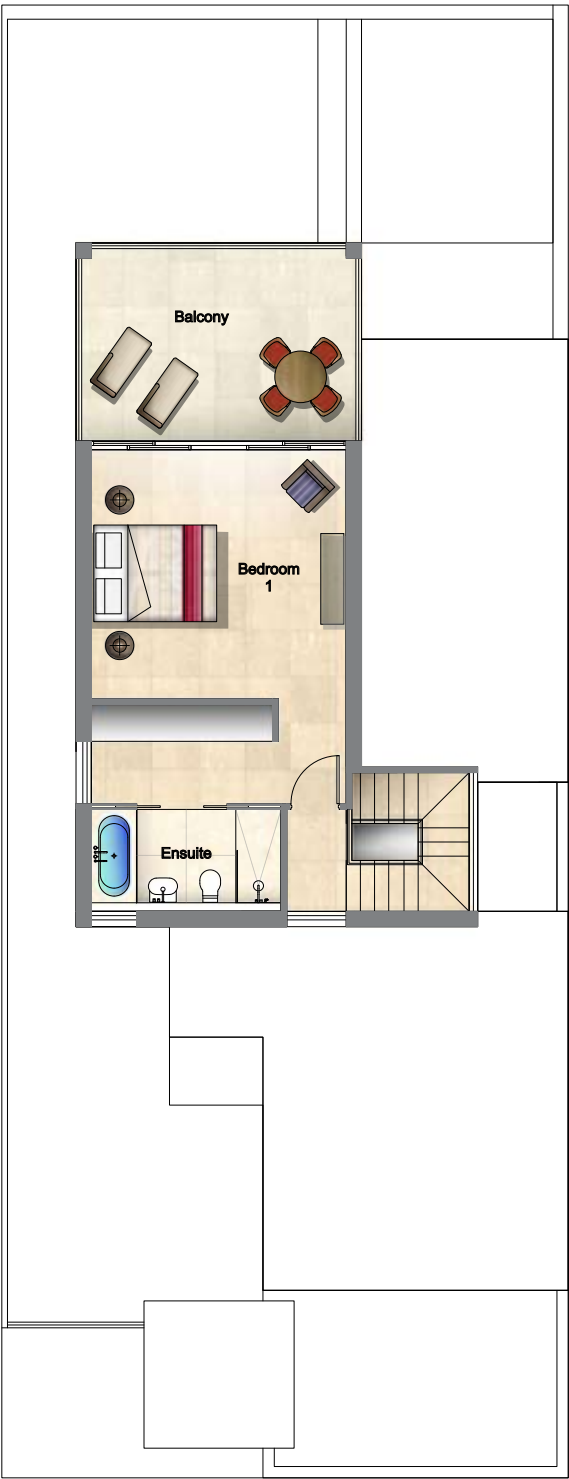


Figure 6.02.1 - Ground Floor Plan

Figure 6.02.2 - First Floor Plan

Figure 6.02.3 - Poolside Elevation

6.03 Three Bedroom Hillside Cottage (HC39-HC44)

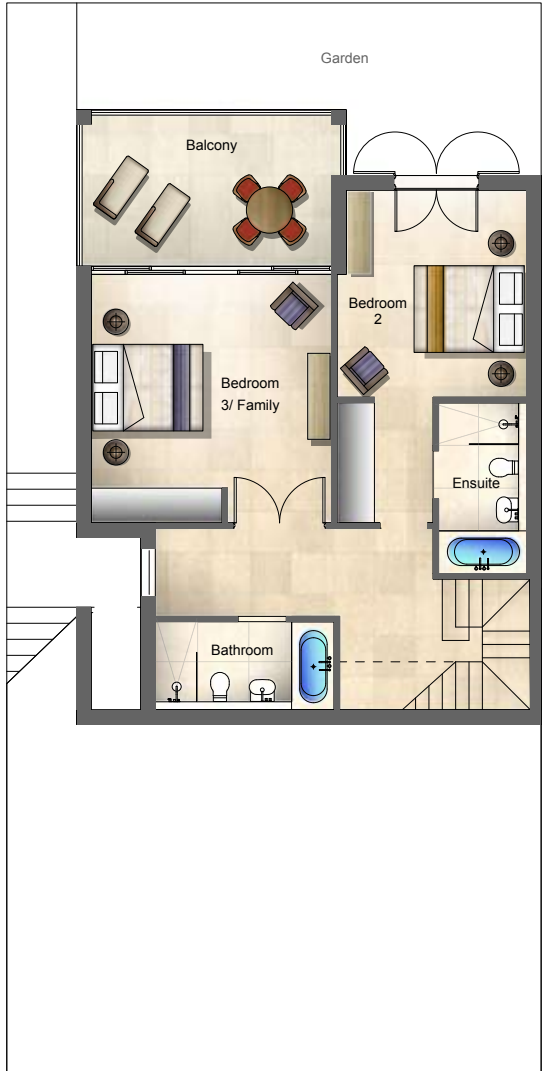


Figure 6.03.1 - Ground Floor Plan



Figure 6.03.2 - First Floor Plan

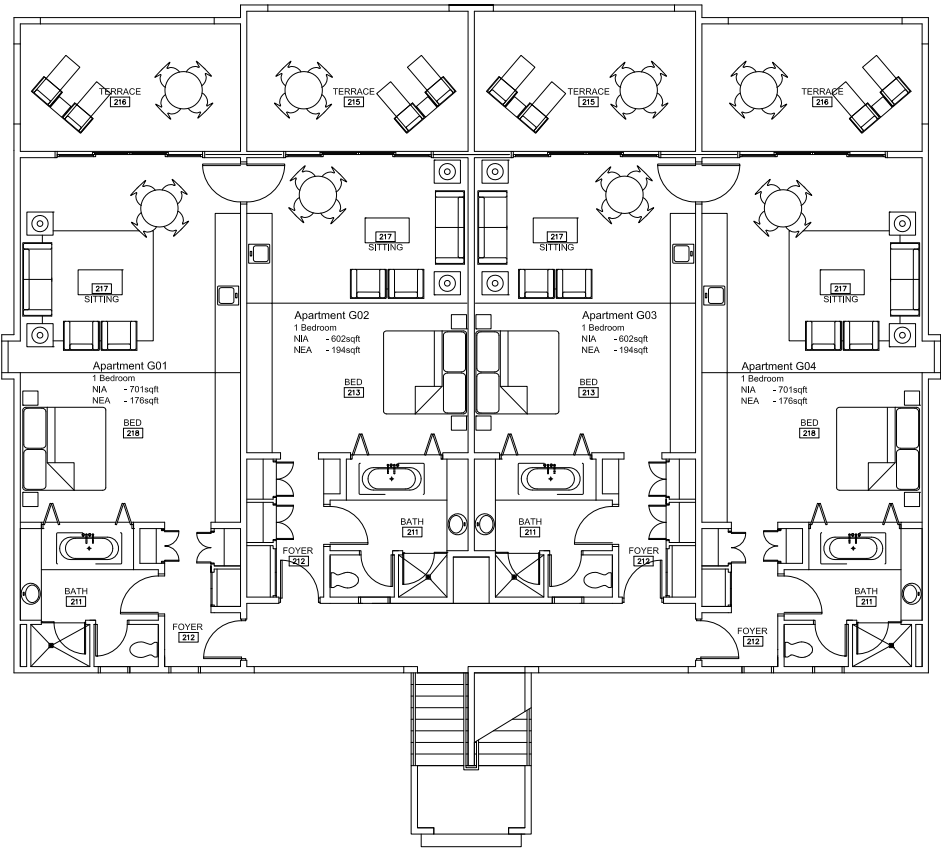


Figure 6.04.1 - Ground/First Floor Plan

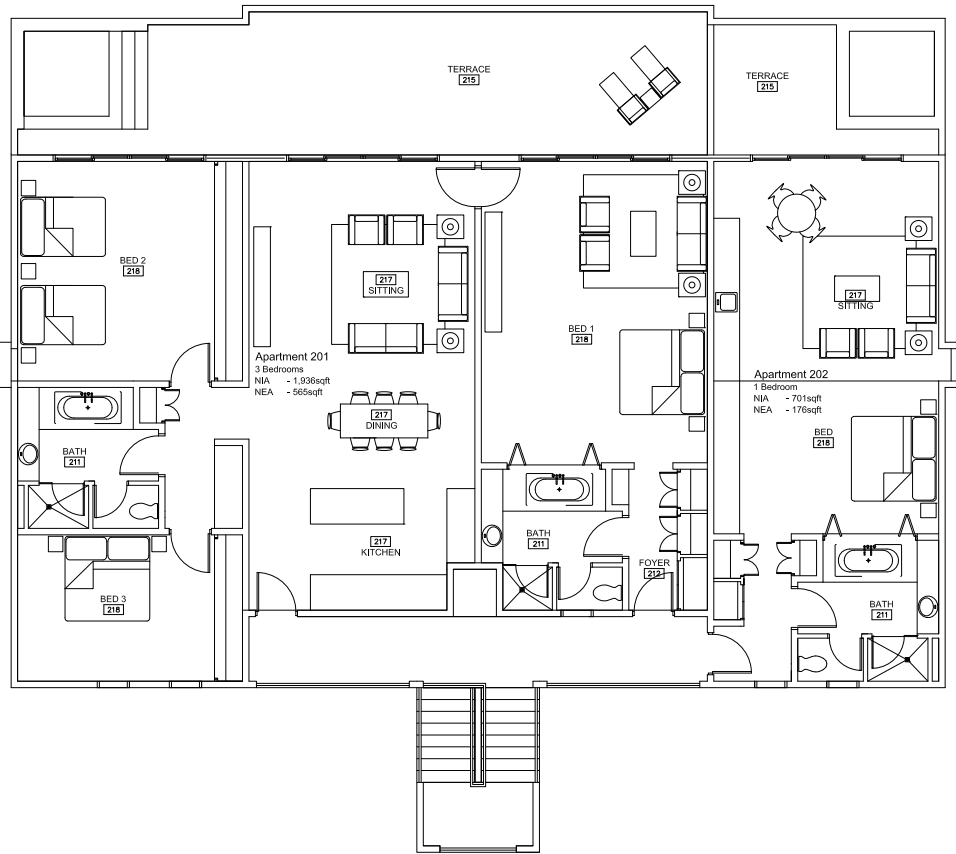


Figure 6.04.2 - Second Floor Plan



Figure 6.04.3 - Beach Elevation



Figure 6.04.4 - Entry Elevation

6.04 Three Storey Beachfront



Figure 6.04.5 - Side Elevation

6.01 Development Phases 1 & 2 (Existing)

Due for completion September 2009



6.02 Development Phase 3A



6.03 Development Phase 3B



6.04 Development Phase 4

